

CITY OF FLORENCE, SOUTH CAROLINA
DESIGN REVIEW BOARD
JUNE 9, 2021 AT 2:00 P.M. VIA ZOOM
AGENDA

I. Call to Order

II. Approval of Minutes

Regular meeting held on May 12, 2021.

III. Public Hearing and Matter in Position for Action

DRB-2021-10 Request for a Certificate of Appropriateness for façade alterations of the building located at 273 West Evans Street, Tax Map Number 90167-01-001; H-1 Historic Overlay District.

IV. Public Hearing and Matter in Position for Action

DRB-2021-13 Request for a Certificate of Appropriateness for façade alterations of the building located at 124 North Dargan Street, Tax Map Number 90169-01-032; H-1 Historic Overlay District.

V. Public Hearing and Matter in Position for Action

DRB-2021-14 Request for a Certificate of Appropriateness for façade alterations of the building located at 515 South Irby Street, Tax Map Number 90088-06-022; D-3 Arts & Culture Historic Overlay District and ISCOD Irby Street Corridor Overlay District.

VI. Adjournment Next meeting is scheduled for July 14, 2021.

**MINUTES OF THE REGULAR MEETING OF
THE CITY OF FLORENCE DESIGN REVIEW BOARD
VIA ZOOM REMOTE MEETING
WEDNESDAY, MAY 12, 2021 – 2:00 P.M.**

MEMBERS PRESENT: Pierce Campbell, Julia Buyck, and Jamie Carsten (in person); Scott Collins, Erik Healy, Mike Padgett, and David Tedder (via Zoom)

MEMBERS ABSENT: Jay Ham and Nathaniel Mitchell

STAFF PRESENT: Jerry Dudley, Derek Johnston, and Alane Zlotnicki; Danny Starling for IT

APPLICANTS PRESENT: Jerry Hudson, Chuck Powell, Stacey Powell, John Deberry, Robert McCrady (in person); Deborah Jensen, Lyles Cooper, and Jesse Wiles (via Zoom).

CALL TO ORDER: Chairman Campbell called the May 12, 2021 regular meeting to order at 2:04 p.m. and thanked everyone in attendance.

APPROVAL OF MINUTES: Chairman Campbell introduced the minutes from the April 14, 2021 regular meeting and asked if there were any corrections. Being none, he called for a vote. Ms. Buyck moved to approve the minutes; Mr. Carsten seconded the motion. The vote to approve the minutes was unanimous (5-0).

PUBLIC HEARINGS AND MATTERS IN POSITION FOR ACTION:

DRB-2021-08 Request for a Certificate of Appropriateness for a townhouse development on six parcels located at 113, 114, 115, and 116 East Pine Street and 319 & 321 Railroad Avenue, Tax Map Numbers 90087-06-001, 90087-06-002, 90088-03-015, 90088-03-034, 90087-06-005, and 90087-06-006; D-3 Arts and Culture Overlay District.

Chairman Campbell read the introduction of DRB-2021-08 and asked staff for their report. Mrs. Zlotnicki gave the staff report as submitted to the Design Review Board.

There being no questions of staff, Chairman Campbell opened the public hearing. There being no one to speak either for or against the request, Chairman Campbell closed the public hearing and called for a motion.

Mr. Carsten moved to approve the request as submitted. Mr. Tedder seconded the motion, and it passed unanimously (5-0).

*** Mike Padgett and Scott Collins joined the meeting via Zoom. ***

DRB-2021-09 Request for a Certificate of Appropriateness for the demolition of the house located at 440 West Cheves Street, Tax Map Number 90074-07-004; D-1 Redevelopment Overlay District.

Chairman Campbell read the introduction of DRB-2021-09 and asked staff for their report. Mrs. Zlotnicki gave the staff report as submitted to the Design Review Board. There being no questions of staff, Chairman Campbell opened the public hearing.

Lyles Cooper with Pee Dee Land Trust spoke on behalf of the request. Chairman Campbell asked Ms. Cooper if Pee Dee Land Trust had plans to stabilize the foundation with grass after demolition. Ms. Cooper stated the current plan is to gravel over the foundation and use it for parking. She stated they plan to use the brick pillars as corner stones in the future community garden.

There being no one else to speak either for or against the request, Chairman Campbell closed the public hearing and called for a motion. Mrs. Buyck moved to approve the request. Mr. Carsten seconded the motion, and it passed unanimously (7-0).

DRB-2021-10 Request for a Certificate of Appropriateness for façade alterations of the building located at 273 West Evans Street, Tax Map Number 90167-01-001; H-1 Historic Overlay District.

Chairman Campbell read the introduction of DRB-2021-10 and asked staff for their report. Mr. Johnston reported that the applicant has asked to defer the request until the June meeting. The motion to defer passed unanimously (7-0).

DRB-2021-11 Request for a Certificate of Appropriateness for a chain link fence on the rear of the lot located at 661 South McQueen Street, Tax Map Number 90076-02-008; D-4 Timrod Park Overlay District.

Chairman Campbell read the introduction of DRB-2021-11 and asked staff for their report. Mr. Johnston gave the staff report as submitted to the Design Review Board.

Mr. Collins asked if the meaning of the ordinance regarding landscaped screening of the fence was for immediate screening or eventual screening. Mr. Johnston stated in the past time has been given to allow for growth for screening vegetation. Mr. Collins asked Mr. Healey if the selected varieties would reach the height of the fence. Mr. Healey stated they would within two or three years. There being no other questions of staff, Chairman Campbell opened the public hearing.

Mr. Jerry Hudson, the applicant, spoke in favor of the request. Mr. Hudson stated he erected the fence in order to prevent the constant trespassing which has occurred on his property over the last few years. He also informed the board of the disrepair of many homes in the area. He mentioned his neighbor is re-siding his home in vinyl boards without any zoning or building permits, and the need for Codes Enforcement to pursue the homeowner.

Mr. Robert McCrady also spoke in favor of his neighbor, Mr. Hudson's request.

Ms. Buyck expressed her mutual frustration with Mr. Hudson's situation. Mr. Dudley stated if vinyl siding is being installed without permits, the City will investigate.

There being no one else to speak either for or against the request, Chairman Campbell closed the public hearing and called for a motion. Mr. Carsten moved to approve the request as submitted. Mrs. Buyck seconded the motion, and it passed unanimously (7-0).

DRB-2021-12 Request for a Certificate of Appropriateness for the demolition of the house located at 404 South Dargan Street, Tax Map Number 90088-03-020; D-3 Arts and Culture Overlay District.

Chairman Campbell read the introduction of DRB-2021-12 and asked staff for their report. Mrs. Zlotnicki gave the staff report as submitted to the Design Review Board. There being no questions of staff, Chairman Campbell opened the public hearing. Stacey Powell, daughter of the owner, spoke in favor of the request on behalf of the applicant.

Ms. Buyck expressed her disappointment that so many architecturally and historically significant homes have been destroyed in Florence especially along Dargan Street. Ms. Buyck asked the applicant if she had researched moving the home or renovating it. She explained the applicant can use the 60-day halt of action by the Historical Commission to research those options. Ms. Powell stated she believed the building is too far gone to save.

Chairman Campbell asked staff what the mechanism for monitoring historically significant houses in the city limits is. Mr. Dudley stated there is no funding for renovations, but the creation of a running list may be helpful.

Ms. Buyck stated the board has struggled with the loss of so many historic structures since its inception. She stated it is not fair so many buildings are not identified prior to them being too far gone to repair.

Chairman Campbell asked if City Police and Codes Enforcement could inform the board and staff of properties in disrepair. Mr. Dudley stated he will research that request.

Mr. Collins stated we should not think of this structure as a residence. He stated the city needs to act now to save endangered structures before it is too late. He suggested property owners should act to protect structures by ensuring the roof and shell of the house are maintained.

Mr. Padgett stated the city has no funds or mechanisms in place to save these buildings.

Mr. Collins stated he understands the applicant's desire to demolish the house but feels a responsibility to protect and preserve what little historical structures we have left.

Mr. Tedder agreed that we need a mechanism to preserve the properties.

Ms. Buyck stated she voted no because the Historical Commission is still reviewing the case.

Mr. Dudley stated he will take all of the board's suggestions to the City Manager and look to work as closely as possible with the Historical Society.

There being no one else to speak either for or against the request, Chairman Campbell closed the public hearing and called for a motion.

Mr. Carsten moved to approve the request for a COA to demolish the house, after the 60 day extension requested by the Historical Commission has passed. Mr. Padgett seconded the motion, and it passed 4 to 3, with Mrs. Buyck, Mr. Healey, and Mr. Collins voting no, and Mr. Carsten, Mr. Padgett, Mr. Tedder, and Chairman Campbell voting yes.

**DRB-2021-13 Request for a Certificate of Appropriateness for a sign to be located at 507
South Irby Street, Tax Map Number 90088-06-005; D-3 Arts and Culture
Overlay District and Irby Street Corridor Overlay District.**

Chairman Campbell read the introduction of DRB-2021-13 and asked staff for their report. Mr. Johnston reported that the applicant has asked to defer the request until the June meeting. The motion to defer passed unanimously (7-0).

ADJOURNMENT: Chairman Campbell thanked everyone for their patience and participation, and adjourned the meeting at 2:52 p.m. The next meeting is scheduled for June 9, 2021.

Respectfully submitted:

Austin Cherry, Office Assistant III

DEPARTMENT OF PLANNING, RESEARCH & DEVELOPMENT
STAFF REPORT TO THE
CITY OF FLORENCE DESIGN REVIEW BOARD

DATE: June 9, 2021

CASE NUMBER: DRB-2021-10

LOCATION: 273 & 279 West Evans Street

TAX MAP NUMBER: 90167-01-001

OWNER OF RECORD: Greenleaf Associates

APPLICANT: George Jebaily

PROJECT DESCRIPTION: Façade Change

OVERLAY DISTRICT: H-1 Historic Overlay District &
D-1 Redevelopment Overlay District

Project Description

The applicant is seeking a Certificate of Appropriateness (COA) for exterior renovations to the building located on Tax Map Parcel 90167-01-001 at the addresses of 273 and 279 West Evans Street. The scope of work includes removing the existing stucco from the front exterior of the building to expose the concrete block. The applicant is proposing to paint the concrete block *Hearthstone* by Benjamin Moore (Attachment F) to match the color of the adjacent Jebaily Law Firm. The scope of work only involves the front façade, no other work will be performed.

Background Information

The one-story, 6,250 square foot commercial building currently houses Sunbelt Credit (279 West Evans Street) and Q & A Court Reporting (273 West Evans Street). The parcel's property card does not give the date of construction. The adjacent building to the west at 283 West Evans Street is 4000 square feet and was built in 1930. The adjacent building to the east at 291 West Evans Street is 2980 square feet built in 1979.

Staff Analysis

In considering the issue of appropriateness, the Design Review Board and the Downtown Planning Coordinator shall use the *Design Guidelines for Downtown Florence, South Carolina* prepared by Allison Platt & Associates and Hunter Interests Inc., as adopted by Florence City Council. If the goal for Florence's Historic District is to become a National Register Historic District or simply to maintain the historical significance of a building, the following general guidelines should apply:

1. Every reasonable effort should be made to preserve and enhance the historically significant elements of a building.
2. Architectural restoration, rather than renovation, is a preferred option when feasible.
3. Qualities critical to overall design should be studied and retained when possible.
4. Before replacing historic elements of a building, preservation and consolidation should be considered.

5. All additions and renovations to existing structures should complement the original or historic elements in terms of material, size, shape and color.
6. New construction should be appropriate to the period and style of character of the district as a whole.
7. To avoid deterioration and possible loss, all elements, especially the historically significant elements, should be carefully maintained. Repairs should match in terms of materials, size, shape, and color.
8. Facade details such as cornice ornaments should not be covered to avoid the need for maintenance painting or refinishing.

From Chapter 3 of the *Design Guidelines for downtown Florence, SC:*

Exterior Wall Cladding

“In several cases within the Florence Historic District brick facades have been covered with siding, new facing, or stucco. Removal of these later materials to improve the integrity of the building should be considered carefully and is recommended if the original brick will not suffer significant damage in the process.”

The underlying material in this case is concrete block (cinder block).

Paint Colors

“Historically, paint colors varied with changes in tastes reflected in changes of period and style. In historic districts such as Florence’s, most building trim should harmonize or accent the predominant color of the brick. There are a range of brick colors in the historic district, and muted earth tones will be best to complement the variety of brick colors without clashing with nearby buildings. More primary colors can be introduced with awnings, signage, and trim. Bright or fluorescent colors such as pink, orange, or bright purple should be avoided.”

The proposed color is Hearthstone by Benjamin Moore (Attachment F) to match the color of the adjacent Jebaily Law Firm.

From Chapter 4 of the *Design Guidelines for downtown Florence, SC:*

Prohibited materials include:

- Colored glass, mirrored, or opaque glass
- Wood shakes or shingles
- Heavily textured stucco
- Imitation stone texturing
- Clapboard sidings, whether wood or alternative materials at the ground level, except with review and approval
- Metal awnings or canopies
- Backlit canopies or awnings
- Plastic awnings.

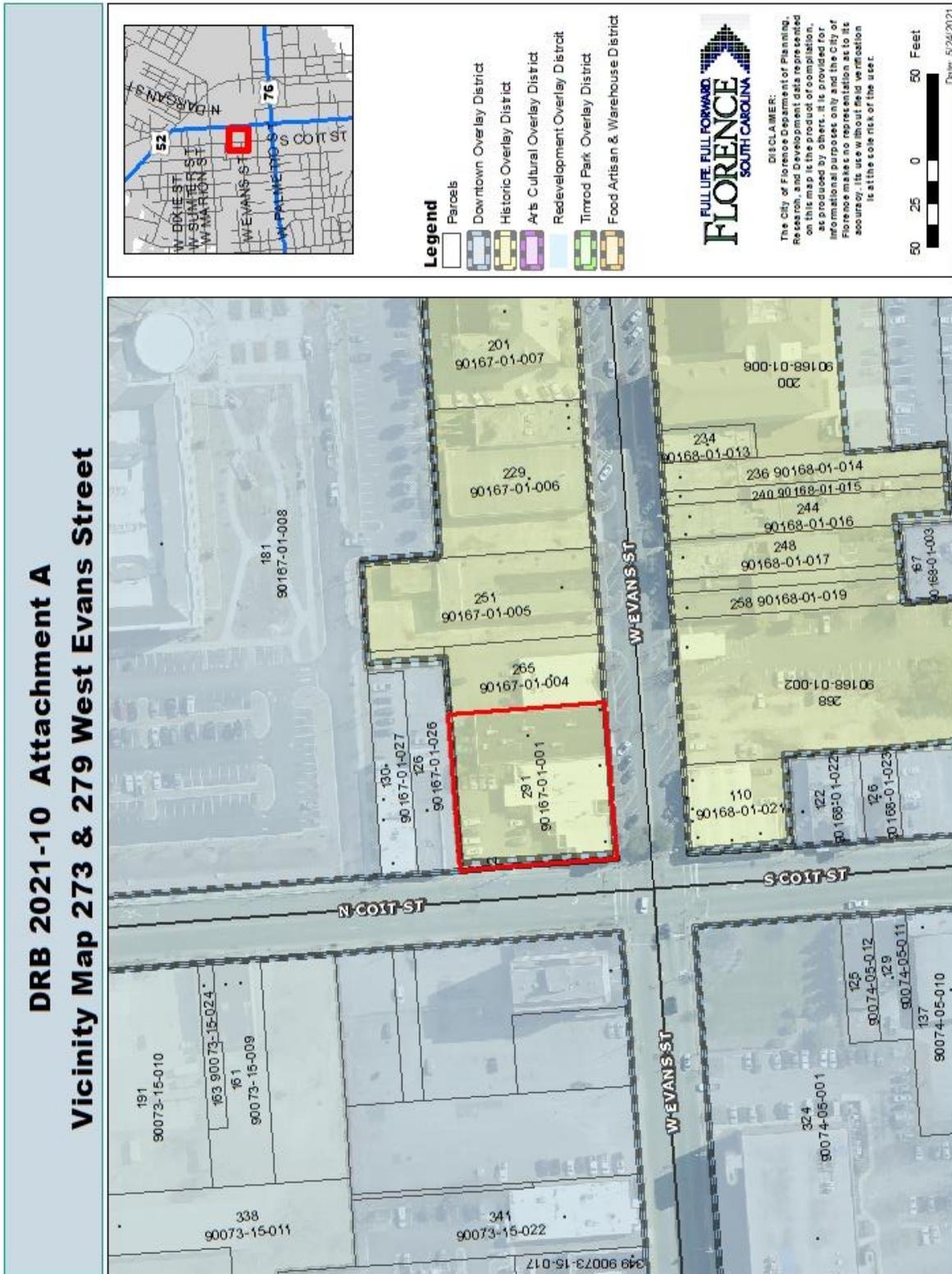
Board Action

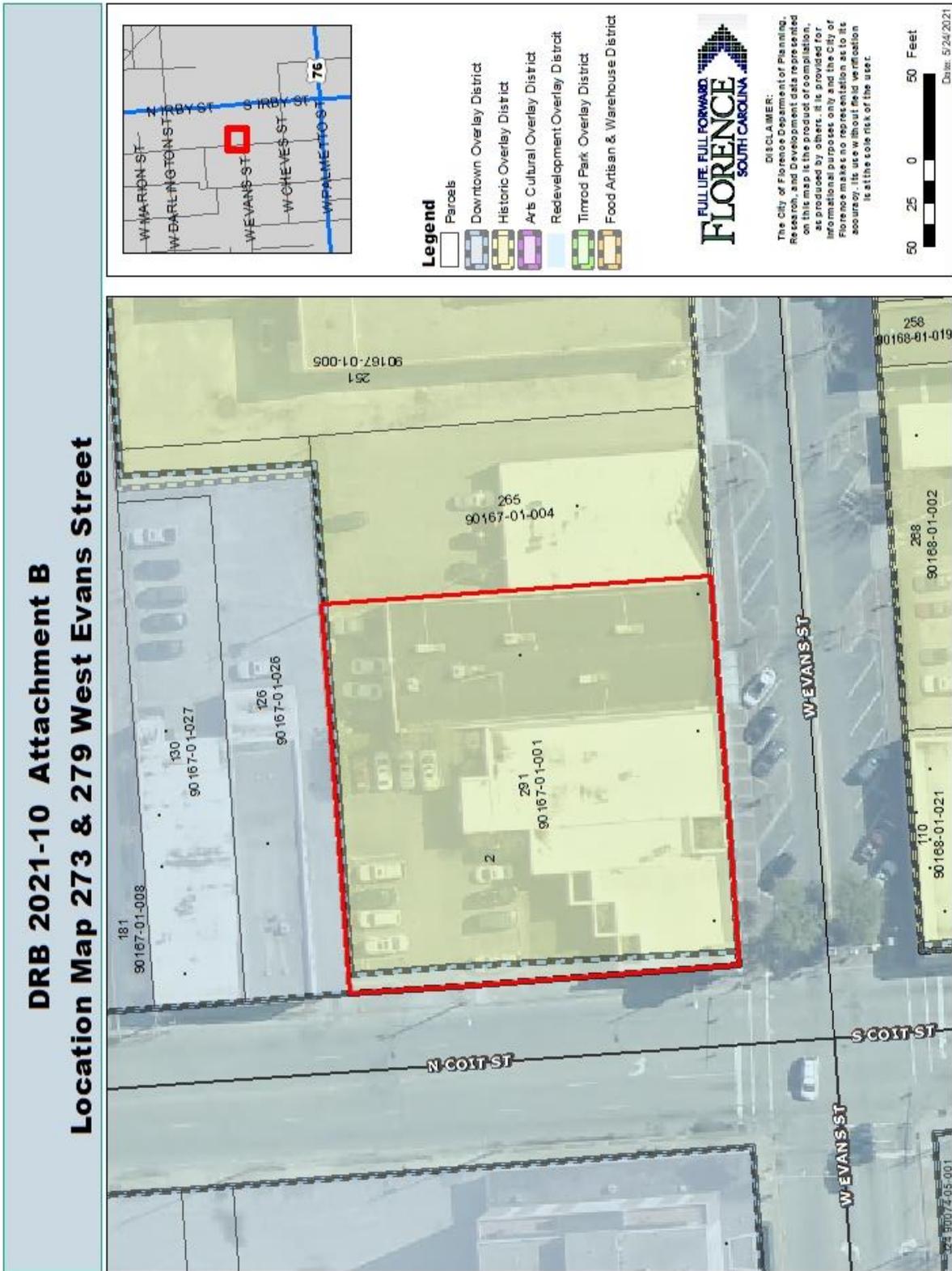
1. Consider only the evidence presented before the board during the public hearing.
2. Make findings of fact to apply the guidelines to the application presently before the board.
3. Based on the findings of fact, make a decision regarding the request on the application.

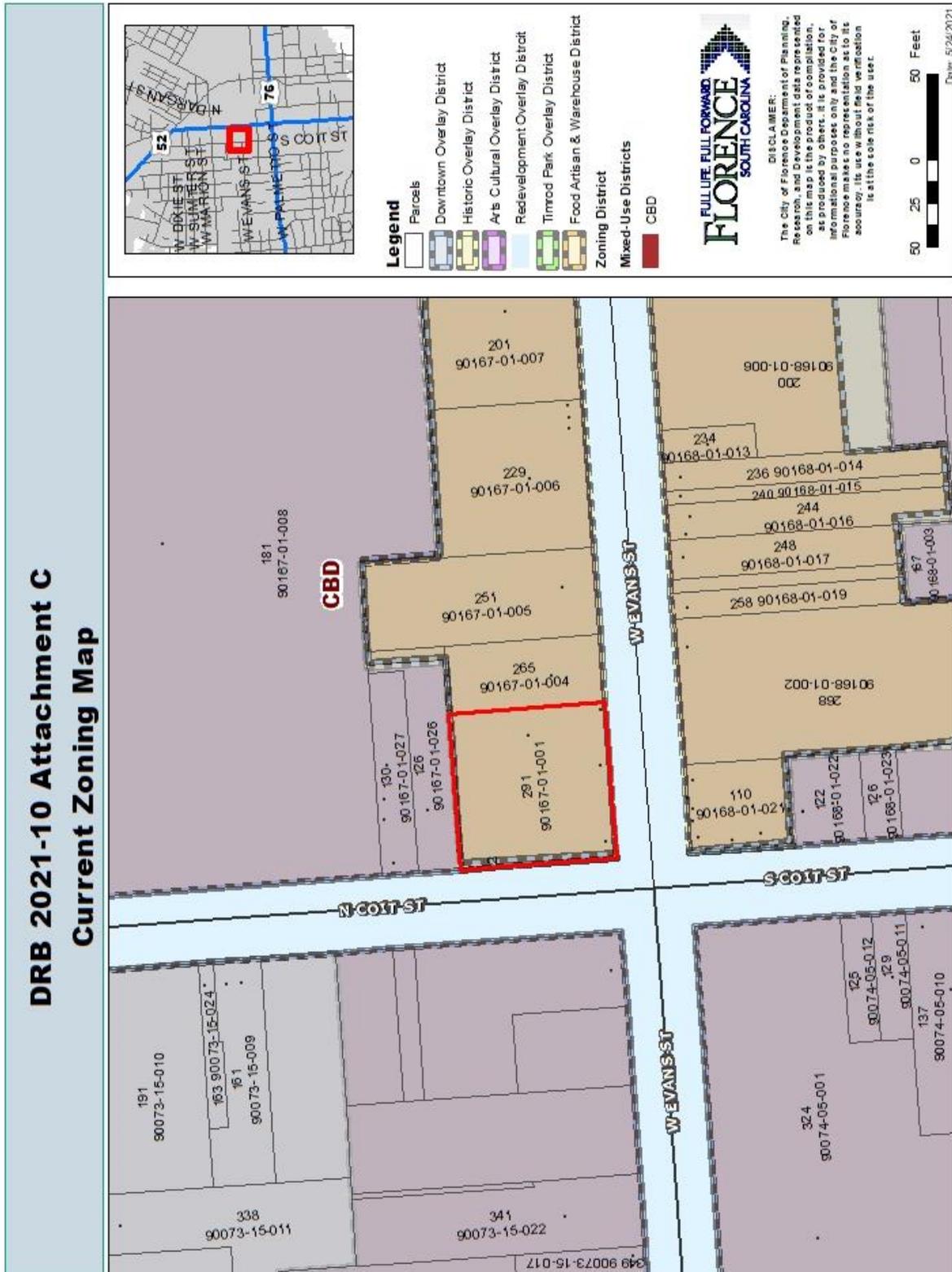
Attachments

- | | |
|-----------------|------------------|
| A. Vicinity Map | D. Tax File Card |
| B. Location Map | E. Site Photos |
| C. Zoning Map | F. Paint Color |

Attachment A: Vicinity Map







FLORENCE COUNTY TAX ASSESSOR		Property Card Record for MBP: 90167-01-001		TAX YEAR: 2020	9/19/20	10:18:14	PAGE: 76466	
-----		PROPERTY LOCATION Address		-----				PROPERTY BILLING NAME/ADDRESS ===
Number: 00291	Suffix:	Street Suffix: ST						JEBAILY RONALD J &
Street Name: EVANS	State: SC	Zip: 00000 0000						JEBAILY GEORGE D
City: FLORENCE	District: 110	Land Class: CI COMMERCIAL IMPROVED						PO BOX 1871
Legal Desc: WEST EVANS & COIT ST	Land Characteristic Selections							FLORENCE
	01 Topography	1	Level					SC29503
	02 Street	1	Paved					
	03 Utilities	1	All Public Utilities					
	04 Fronting Traffic	5	Heavy					
	05 Ownership	1	Private					
L A N D Lots:	Eff Frontage: 60	Eff Depth: 109						
L A N D Square Feet: Primary Site	22,500							

C O M M E R C I A L MBP: 90167-01-001		BUILDING ID#: 001	SUFFIX#: 000					
Category: 503	OFFICE BUILDINGS	Yr.Built: 1979	Area Sq.Ft: 2,880					
Improvement Cost with Additions:	161,065.16	Yard/Other Bldg Values: 4,422.60	Total Buildings Value: 165,487.76					

C O M M E R C I A L MBP: 90167-01-001		BUILDING ID#: 002	SUFFIX#: 000					
Category: 503	OFFICE BUILDINGS	Yr.Built: 1930	Area Sq.Ft: 4,000					
Improvement Cost with Additions:	202,140.00	Yard/Other Bldg Values:	Total Buildings Value: 202,140.00					

C O M M E R C I A L MBP: 90167-01-001		BUILDING ID#: 003	SUFFIX#: 000					
Category: 503	OFFICE BUILDINGS	Yr.Built: 0000	Area Sq.Ft: 6,250					
Improvement Cost with Additions:	219,431.25	Yard/Other Bldg Values:	Total Buildings Value: 219,431.25					

--- Totals for MBP ---								
# Buildings:	3	Building Value:	587,059.01	Land Market Value:	90,000.00			
Market Acres:	.00	Use Acres:	.00	Land Use Value:	.00			
Bld/Land Use Total:	587,059.01	Bld/Land Mar. Total:	677,059.01	6% Bld Value:	587,058	# of 6% Blds:	3	
Rental Acres:	0	Rental Acres Value:	0	Ren.Acres-Mar:	0	Ren.Acres Value-Mar:	0	

Attachment E: Site Photos



South side of Building facing West Evans Street



Front of Building (Sunbelt Credit & Q & A Court Reporting)



Jebaily Law Firm to West – 283 & 291 West Evans Street



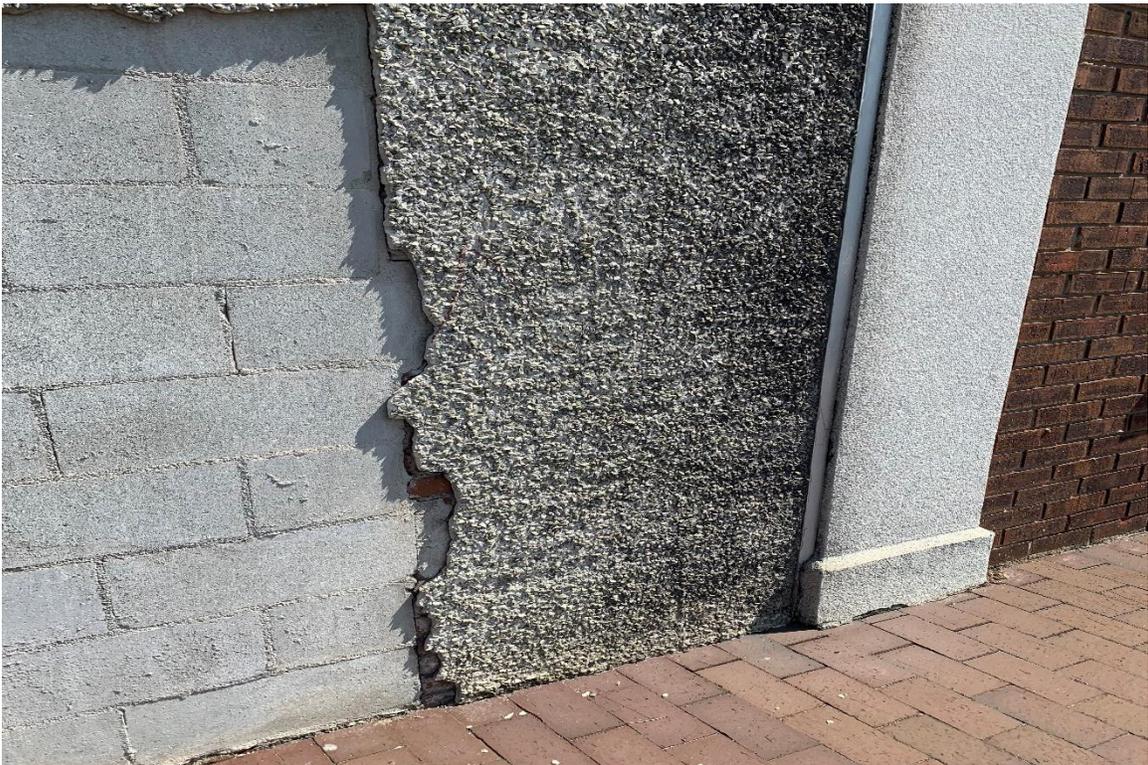
Benjamin Moore – Hearthstone



Q & A Court Reporting adjacent to Anderson Law Firm – 265 West Evans Street

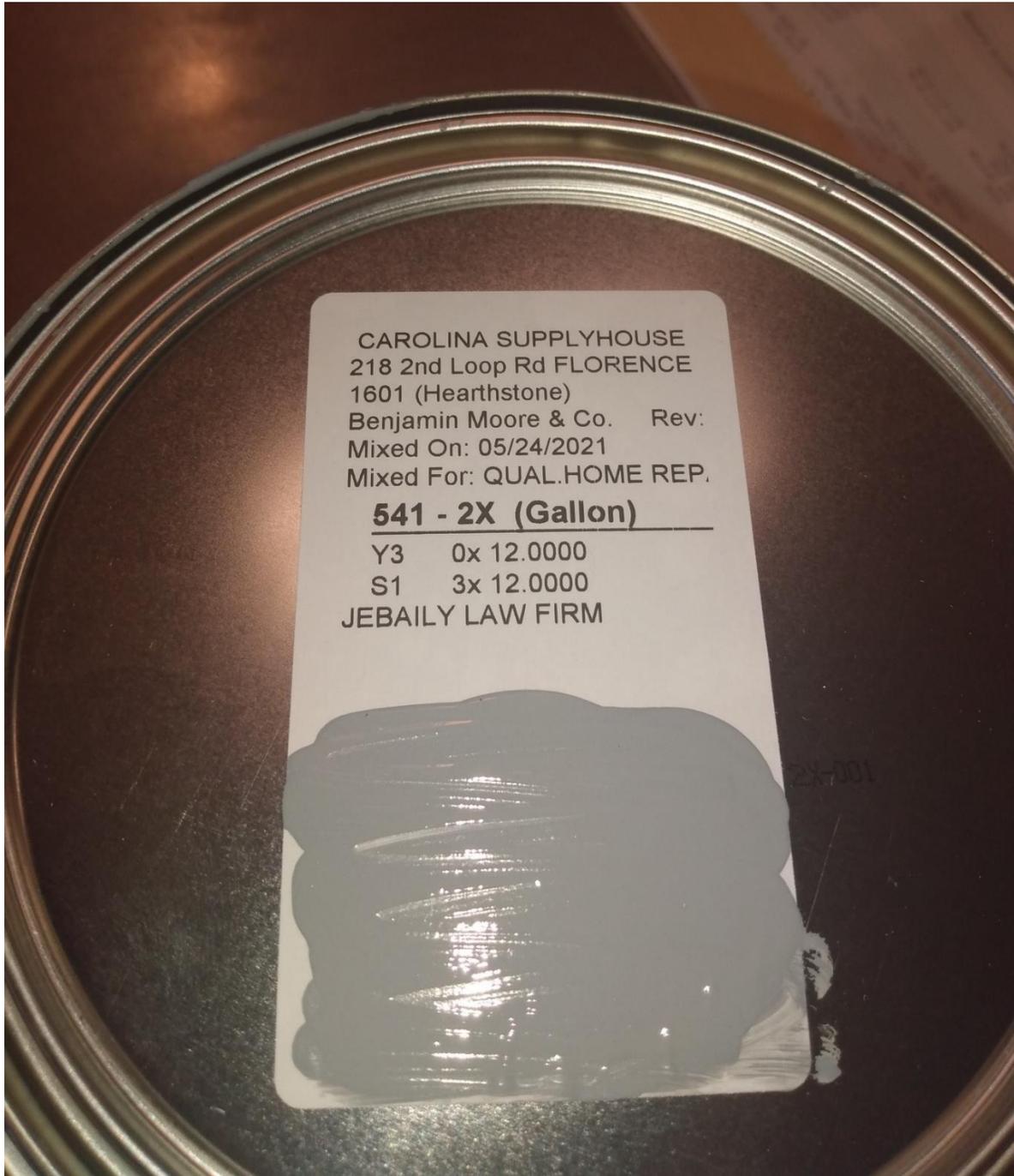


Concrete Block under Stucco



Brick under Stucco along Border with Anderson Law Firm

Attachment F: Paint Color



DEPARTMENT OF PLANNING, RESEARCH & DEVELOPMENT
STAFF REPORT TO THE
CITY OF FLORENCE DESIGN REVIEW BOARD

DATE: June 9, 2021

CASE NUMBER: DRB-2021-13

LOCATION: 124 North Dargan Street

TAX MAP NUMBER: 90169-01-032

OWNER OF RECORD: Trey Z. Cooper

APPLICANT: Trey Cooper – Cooper & Associates

PROJECT DESCRIPTION: Façade Changes – Adding 2 Stories

OVERLAY DISTRICT: H-1 Historic Overlay District &
D-1 Redevelopment Overlay District

Project Description

The applicant is seeking a Certificate of Appropriateness (COA) for exterior renovations to the building located on Tax Map Parcel 90169-01-032 at the address of 124 North Dargan Street. The scope of work includes adding a steel structure to the existing one story building to create an additional two stories utilizing shipping containers as the skeleton. The standard shipping container is approximately 40' in length, 8' wide, and 8.5' high. The added 2 floors will have 4 apartments each as shown in Attachment F with the façade shown in Attachment H. The building once completed would add approximately 4800 square feet to the 2,352 square foot building.

Background Information

The one-story commercial building was constructed in 1920 and has a total area of 2,352 square feet. The building is constructed of brick with a stucco facade. An Administrative COA was issued on March 12, 2020 to repair existing stucco and paint it *Beige Sand* (Sherwin Williams – SW 1093). This façade change was in response to a Codes Enforcement Notice of Violation regarding the City's Downtown Maintenance & Appearance Codes. This location has had numerous Maintenance & Appearance Code violations in the past, most recently in August of 2020 resulting in a Summons to Livability Court issued for April of this year. The court day occurred on June 2nd, the time of the writing of this report. The most recent Downtown Maintenance & Appearance Code Violation is included as Attachment I.

Staff Analysis

In considering the issue of appropriateness, the Design Review Board and the Downtown Planning Coordinator shall use the *Design Guidelines for Downtown Florence, South Carolina* prepared by Allison Platt & Associates and Hunter Interests Inc., as adopted by Florence City Council. If the goal for Florence's Historic District is to become a National Register Historic District or simply to maintain the historical significance of a building, the following general guidelines should apply:

1. Every reasonable effort should be made to preserve and enhance the historically significant elements of a building.

2. Architectural restoration, rather than renovation, is a preferred option when feasible.
3. Qualities critical to overall design should be studied and retained when possible.
4. Before replacing historic elements of a building, preservation and consolidation should be considered.
5. All additions and renovations to existing structures should complement the original or historic elements in terms of material, size, shape, and color.
6. New construction should be appropriate to the period and style of character of the district.
7. To avoid deterioration and possible loss, all elements, especially the historically significant elements, should be carefully maintained. Repairs should match in terms of materials, size, shape, and color.
8. Facade details such as cornice ornaments should not be covered to avoid the need for maintenance painting or refinishing.

From Chapter 4 of the *Design Guidelines for downtown Florence, SC:*

Downtown Central District (DCD) Site Design Guidelines

6. Rear entries

Attractive rear entries to businesses are encouraged. If residential units occur on the upper floors of commercial buildings, entries adjacent to parking areas are required. Interior or exterior passageways to the primary streets from rear parking are encouraged. ***Driveways*** Wherever possible, driveways should be consolidated within a property or combined to provide access to two or more adjacent properties. Driveways from the main pedestrian thoroughfares are discouraged, with access from side streets or to the rear of the property preferred.

No details have been given about the rear of the building. Rear entryways are encouraged for both business and residential if parking areas are behind the building as they are at 124 North Dargan Street.

1. Downtown Central District Architectural Guidelines

The architecture of new structures within the DCD area should enhance the existing architecturally or historically significant buildings that will remain. The main objective of these guidelines is to provide a framework that will ensure that all structures contribute toward a harmonious assemblage of structures and landscape but does not promote the idea that new construction should be designed to look “historic”. New construction should be “traditional” in character, while reflecting the time of its creation. Consistency in the use of materials and details can help define the downtown’s sense of place. The traditional multistory “storefront” structure should be the predominant building type in the DCD area. In traditional retail facades, the rhythm and alignment of openings and architectural elements must work together to form a pleasing environment.

The proposed addition will include a multistory front façade consisting of a glass and aluminum storefront on the first floor and residential balconies overlooking North Dargan Street. Details regarding cladding materials, storefront specifications, window specification, and railing specifications were not provided at the time of this report.

3. Massing and Height

It is preferred that new buildings should be 2-3 stories, but taller buildings will be allowed with permission. The height of the first floor should be a minimum of 14-16 feet. When designing taller buildings that will be sited near buildings that are 2-3 stories, care should be taken to ensure that the taller buildings do not overwhelm the shorter buildings. This can be accomplished by such architectural design elements as setbacks of the taller portion of the building at the two- or three-story level, and articulation and massing

that allows light to reach surrounding buildings and the street. Also, single story buildings are allowed with approval of the Design Review Board.

The proposed addition will be 3 stories tall, but the levels are all approximately of equal height (between 12 and 13 feet). The building directly to the south is two story and directly to the north is single story. Buildings along this block range from single story to three story structures.

4. Articulation of Facades within the Block

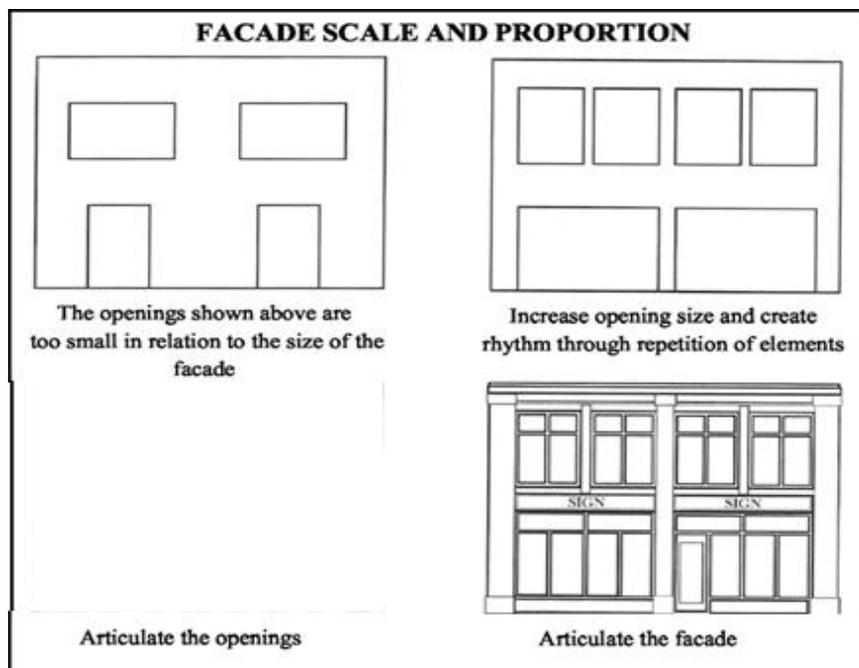
The visual strength and pedestrian comfort with traditional downtowns arise from the human scale of buildings. In addition to the articulation of each facade, consideration should be given to the rhythm and symmetry of the entire block. Even if the entire block is taken up by one building, articulation into smaller elements provides a more human scale to the building.

The glass and aluminum storefront on the first floor gives way to residential balconies on the 2nd and 3rd floor. The alley-side or Southside of the building incorporates windows into an otherwise flat side façade.

5. Building Scale and Proportion

The scale of a building is determined by the size of architectural details and the size of the units of construction in relation to the size of people. Proportion relates to the relationship of the size of building elements to the building as a whole. In general, building facades in the commercial area should have windows that have a vertical emphasis, that is, windows that are taller than they are wide. Windows should be organized into regularly spaced patterns within the wall surface. The building facade should be broken into vertical and horizontal “panels” through the use of pilasters or other surface textures.

The windows proposed are more vertical than horizontal. The storefront will be entirely constructed of glass and aluminum while the upper levels will incorporate balconies consisting of windows, doors, and railings (specifications not provided). The windows along the south side of the building do appear small compared to the size of the façade. No details have been given about the rear of the building.



6. Building Elements

The various components used in the composition of a building design greatly affect the success of a design and its compatibility with its context. The following descriptions provide guidance for various components used in traditional retail/commercial structures.

Upper floor windows

Windows in the upper facade(s) of buildings should comprise at least 26% of the wall area of each floor. The most typical type of window found on the upper floors of commercial buildings in this region is double-hung sash. These windows are taller than they are wide, and have a horizontal rail that divides the upper half from the lower. A wide variety of contemporary window types constructed from a range of materials can be used to successfully interpret this tradition. Acceptable window types include single-hung and double-hung. Additional configurations such as casement sash or fixed windows may be acceptable if configured with a horizontal rail that mimics the proportions of double-hung sash. Windows may have further dividing members, but such divisions shall be either “true divided light” construction or permanent exterior grilles. Interior grilles alone or grilles set between the panes of double glazing are not acceptable. Windows may be constructed of wood, wood clad in vinyl or prefinished metal, or from aluminum or other appropriate metals.

Storefronts/building fronts

The first floor storefront should be composed of large expanses of glazed openings (60% or more). These allow for the display of merchandise in retail uses, but are also appropriate for other uses such as restaurants or offices. Features such as transoms allow for natural light to penetrate deeply into the building. The use of awnings can shade these large glass areas and allow for the introduction of appropriate colors to enliven the pedestrian experience. Metal framing for storefront glazing should be a minimum of 2" wide.

When large civic, office, or residential buildings are proposed for this district, large glassed-in lobbies, retail on the ground floor, or other uses interesting and inviting to the pedestrian should be incorporated into the design. Blank walls are discouraged, and, if necessary, should be broken up by landscaping, exterior detailing, sculpture, or other means.

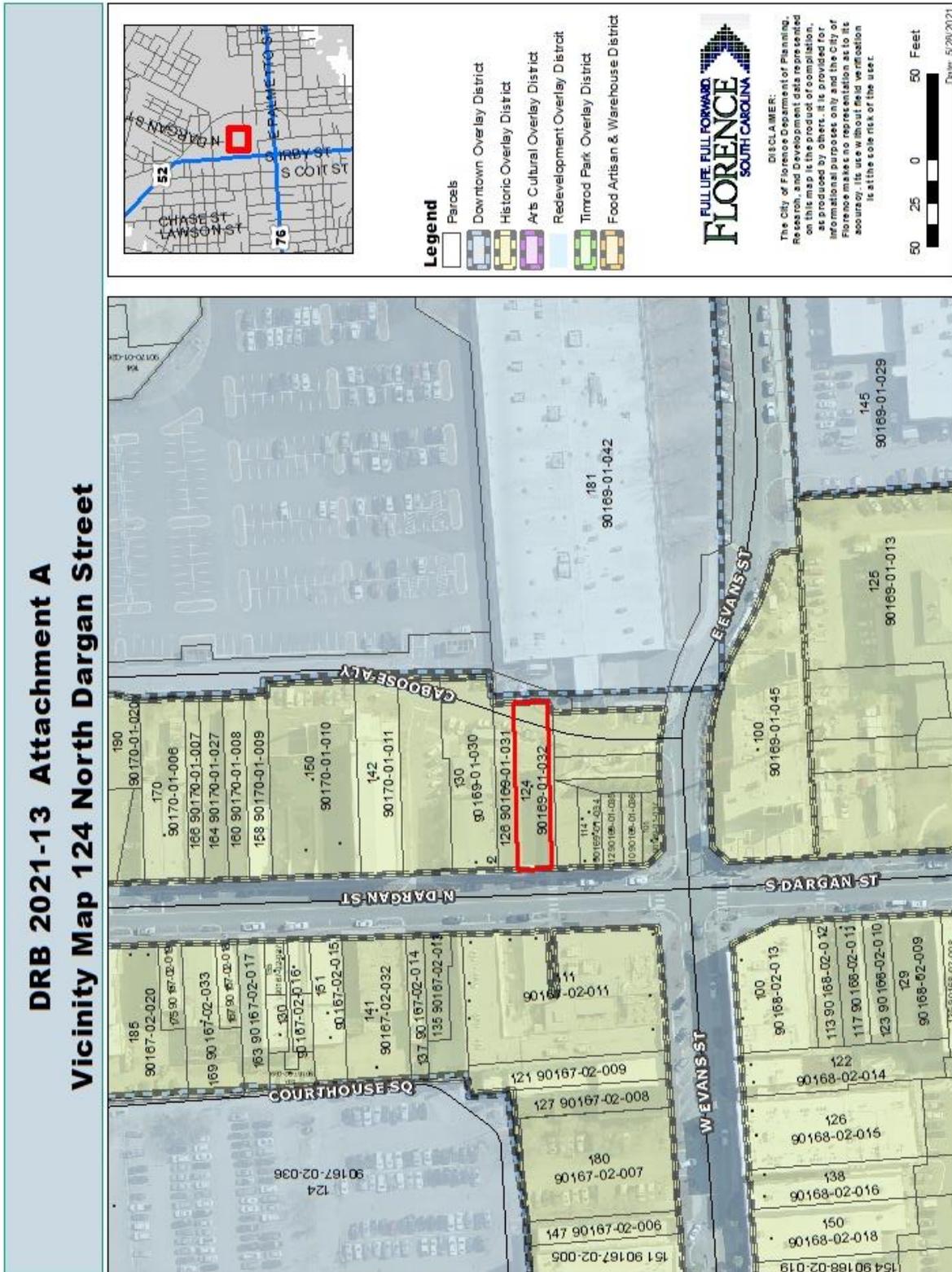
The front façade of the proposed addition is nearly 100% glazed. There is no sign band or awning proposed for the front façade. Recessed balconies are proposed on the upper levels. Currently, we do not have any details about the materials, colors, windows, doors, etc. or the details of the rear of the building (east side). The number of shipping containers and their configuration has not been specified.

Board Action

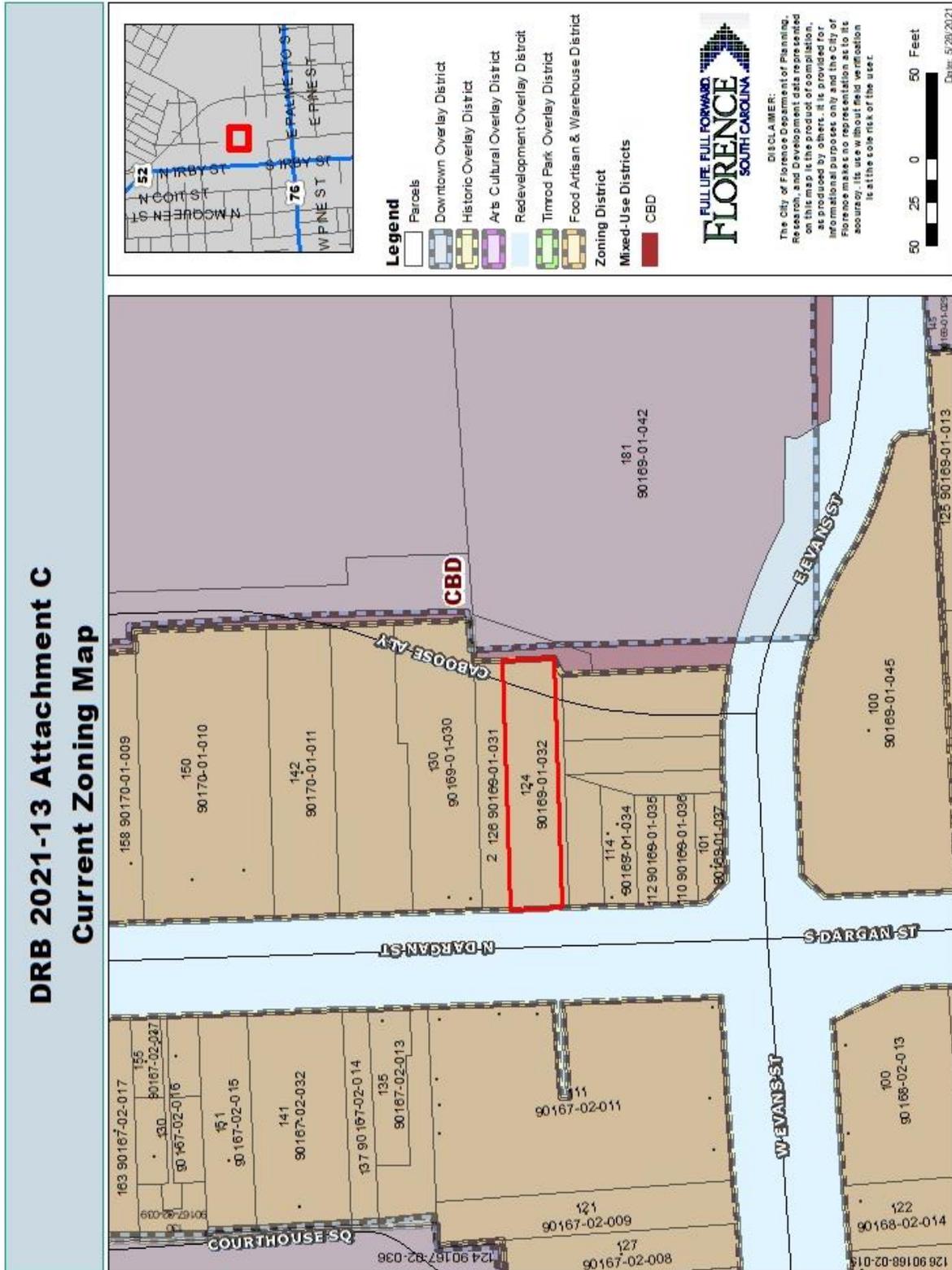
1. Consider only the evidence presented before the board during the public hearing.
2. Make findings of fact to apply the guidelines to the application presently before the board.
3. Based on the findings of fact, make a decision regarding the request on the application.

Attachments

- A. Vicinity Map
- B. Location Map
- C. Zoning Map
- D. Tax File Card
- E. Site Photos
- F. Plan Section & Details
- G. Vertical Elevation & Floor Layout
- H. Elevation Rendering
- I. Downtown Maintenance & Appearance Code Violation







Attachment D: Tax File Card

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FLORENCE COUNTY TAX ASSESSOR
Property Card Record for MBP: 90169-01-032 TAX YEAR: 2020 9/19/20 10:18:14 PAGE: 76615
----- PROPERTY LOCATION Address ----- PROPERTY BILLING NAME/ADDRESS ===
Number: 00124 Suffix: COOPER TREY Z
Street Name: DARGAN Street Suffix: ST
City: FLORENCE State: SC Zip: 00000 0000 3205 SAVANNAH GROVE RD
District: 110 Land Class: CI COMMERCIAL IMPROVED EFFINGHAM SC29541
Legal Desc: N DARGAN ST
Land Characteristic Selections
01 Topography 1 Level
02 Street 1 Paved
02 Street 5 Curb & Gutter
02 Street 6 Sidewalk
03 Utilities 1 All Public Utilities
04 Fronting Traffic 5 Heavy
05 Ownership 1 Private
L A N D Lots: Eff Frontage: 33 Eff Depth: 160
L A N D Square Feet: Primary Site 5,200
-----
C O M M E R C I A L MBP: 90169-01-032 BUILDING ID#: 001 SUFFIX#: 000
Category: 312 DISCOUNT STORES Yr.Built: 1920 Area Sq.Ft: 2,352
Improvement Cost with Additions: 15,152.06 Yard/Other Bldg Values: Total Buildings Value: 14,397.49
-----
--- Totals for MBP ---
# Buildings: 1 Building Value: 14,397.49 Land Market Value: 15,600.00
Market Acres: .00 Use Acres: .00 Land Use Value: .00
Bld/Land Use Total: 14,397.49 Bld/Land Mar.Total: 29,997.49 6% Bld Value: 14,397 # of 6% Blds: 1
Rental Acres: 0 Rental Acres Value: 0 Ren.Acres-Mar: 0 Ren.Acres Value-Mar: 0
Transfer Date: 08/12 DEED Book: B421 Page: 1486 Sales Price: 30,000
Transfer Date: 07/08 DEED Book: B198 Page: 1189 Sales Price: 27,800

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Attachment E: Site Photos



Current Front Façade of 124 North Dargan Street (Middle Building)



Skyline of Buildings around 124 North Dargan Street (For Scale)



Rainwater Building at 151 West Evans Street



Hyatt Place Florence at 100 East Evans Street



Current Rear Façade of 124 North Dargan Street (Middle Building)



Rear Façade of Adjacent Building (McCants Lingerie – 126 North Dargan Street)



Rear Façade of Adjacent Building (WBTW News 13 – 114 North Dargan Street)

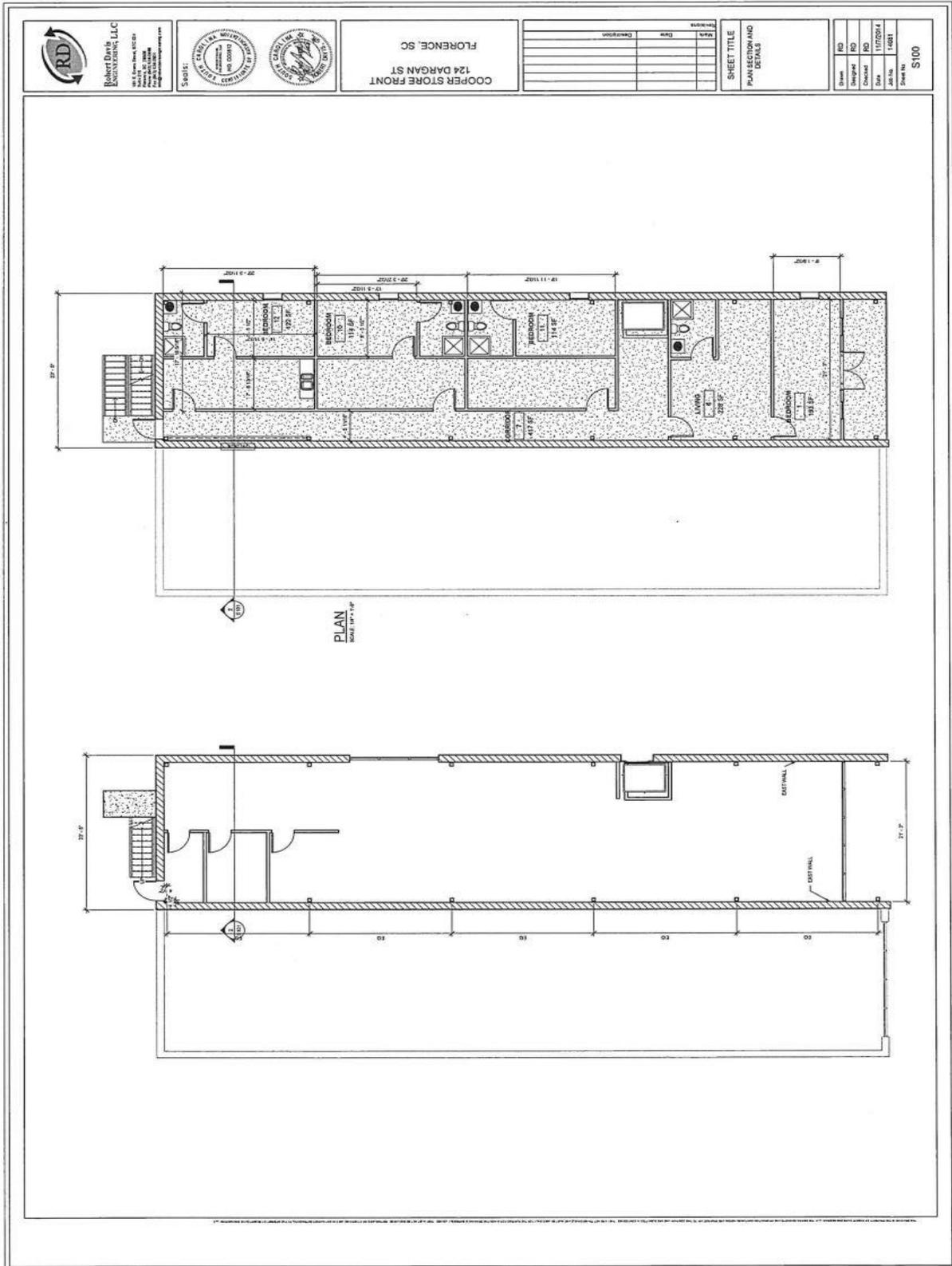


*Current Rear Façade of 124 North Dargan Street and
Alley Way between 114 North Dargan Street*

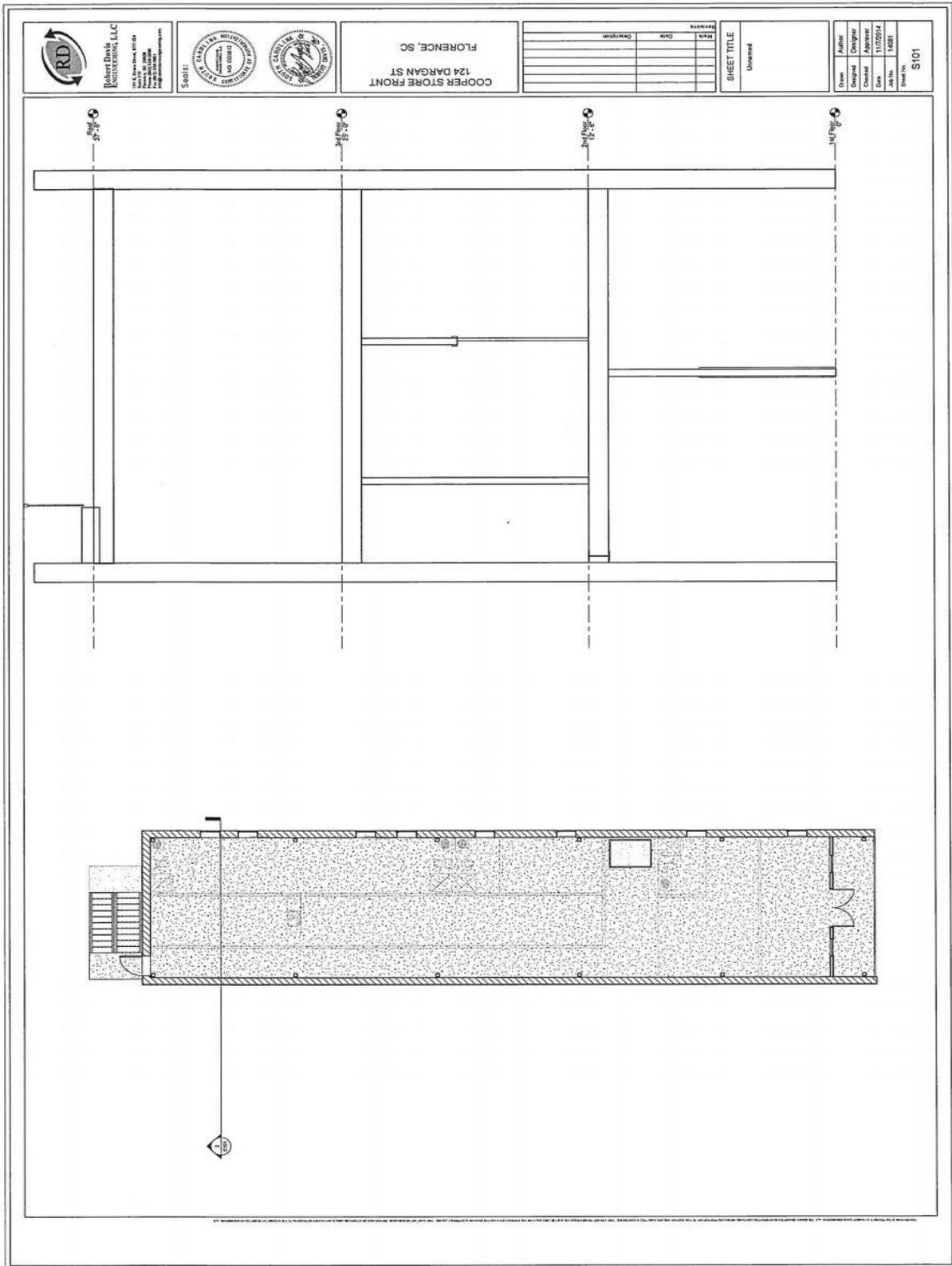


Alley Way between 114 North Dargan Street – Southside Façade

Attachment F: Plan Section & Details

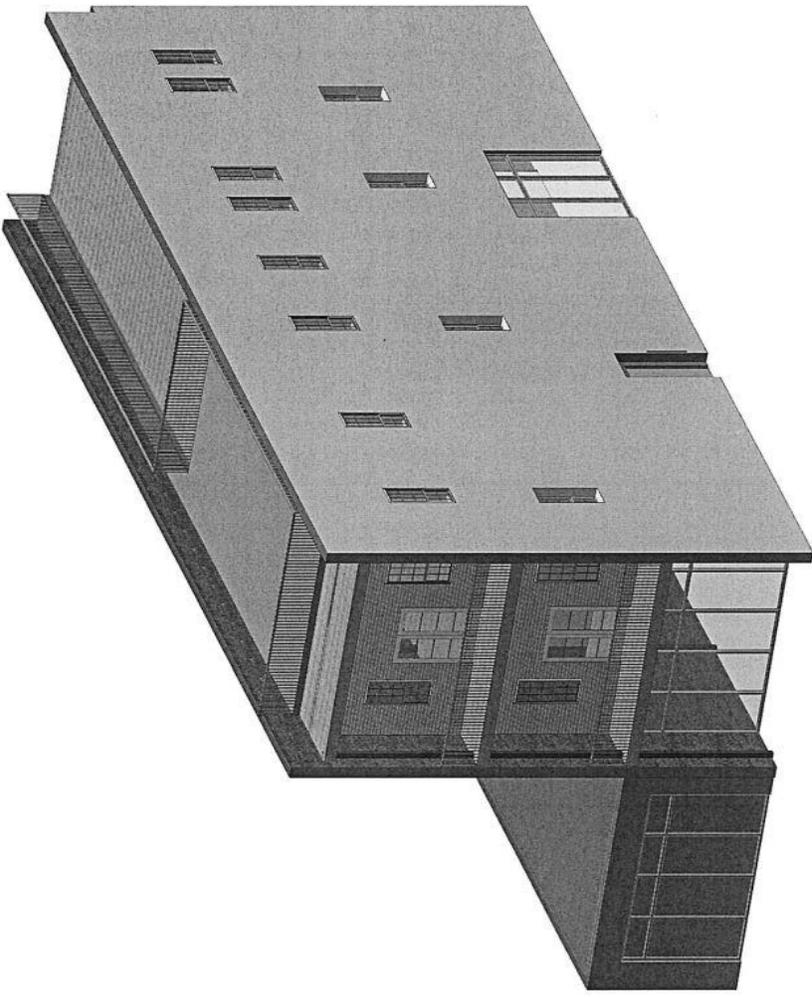


Attachment G: Vertical Elevation & Floor Layout



Attachment H: Elevation Rendering

 Robert Davis ENGINEERING, LLC <small>1814 E. 10th Street, Suite 200 Florence, SC 29506 Phone: 843.666.1111 Fax: 843.666.1112 www.rdv-engineering.com</small>	 <small>STATE OF SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER EXPIRES 12/31/2015</small>	 <small>STATE OF SOUTH CAROLINA REGISTERED PROFESSIONAL ARCHITECT EXPIRES 12/31/2015</small>	COOPER STORE FRONT 124 DARGAN ST FLORENCE, SC	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REVISION	DATE	DESCRIPTION																			<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">SHEET TITLE</th> </tr> </thead> <tbody> <tr> <td colspan="2" style="text-align: center;">Unimaged</td> </tr> </tbody> </table>	SHEET TITLE		Unimaged		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Drawn</th> <th>Author</th> <th>Design</th> <th>Designer</th> <th>Checked</th> <th>Approver</th> <th>Date</th> <th>Job No.</th> <th>Scale</th> <th>Sheet No.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td>11/17/2014</td> <td> </td> <td>1:4000</td> <td style="text-align: right;">S102</td> </tr> </tbody> </table>	Drawn	Author	Design	Designer	Checked	Approver	Date	Job No.	Scale	Sheet No.							11/17/2014		1:4000	S102
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Attachment I: Downtown Maintenance and Appearance Code Violation
124 North Dargan Street – Historic Overlay District (H-1)
Storefront



- Exterior of the structure is to be maintained in good repair;
- Building shall be maintained to prevent look of abandonment, to blend with surrounding buildings;
- Building shall remain broom clean inside of building;
- Failing, weather exposed wood elements;
- Metal columns collecting rust without paint.

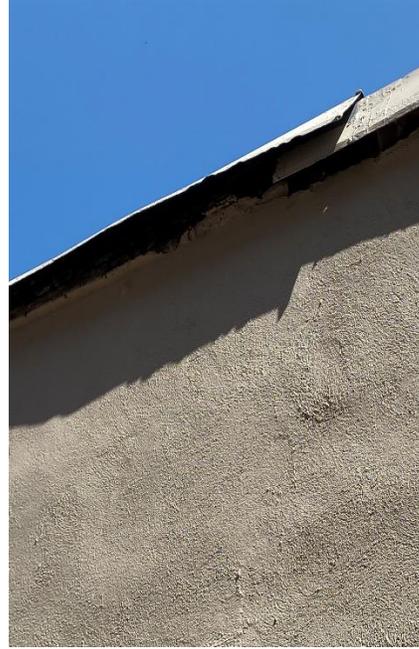


Storefront



- All exterior surfaces which require painting or sealing to protect the underlying surface(s) from deterioration shall be so painted and sealed;
- Weeds on roof;
- Falling brick on roof, adjacent to neighboring buildings.





- Repair roof overhang on side of building to prevent water damage to interior of building.



Rear Façade



- Exterior of the surface shall be maintained and in good repair;
- Building shall be maintained to prevent look of abandonment, to blend with surrounding buildings;
- All extraneous element on building walls which serve no useful or aesthetic purpose shall be removed (e.g. unused electrical box, conduits, wires, brackets, pallet, and broken downspout).
- All windows shall be in good repair; exposed wood is sealed and otherwise protected and the window is free of broken glass.
- All violations listed pertain to the **City Code of Ordinances Section 4-3.5 General duties and responsibilities of the owner.**



DEPARTMENT OF PLANNING, RESEARCH & DEVELOPMENT
STAFF REPORT TO THE
CITY OF FLORENCE DESIGN REVIEW BOARD

DATE: June 9, 2021

CASE NUMBER: DRB-2021-14

LOCATION: 515 South Irby Street

TAX MAP NUMBER: 90088-06-022

OWNER OF RECORD: Warren Properties, LLC

APPLICANT: Trey Cooper

PROJECT DESCRIPTION: Renovation of Retail Space

OVERLAY DISTRICT: D-3 Arts & Culture and Irby Street Corridor Overlay Districts

Project Description

The applicant is seeking a Certificate of Appropriateness (COA) to renovate the roof, front façade, and side of the building located at 515 South Irby Street, Tax Map Parcel 90088-06-022. The project involves the subdivision of the interior of the 4500 square foot space to create an ice cream counter, a barbershop, and a laundromat.

The front façade consists of aluminum storefront windows with a door to the left of center. The renovation includes the creation of two walk up service windows and the relocation of the front entrance to the center of the façade. The south side wall, which faces the parking lot, currently has two AC units but no windows. The renovation will remove the AC units and install double doors and a wall of storefront windows to open up the interior.

The applicant also wants to replace the existing shingle roof with a blue metal roof and add a 16 square foot LED panel to the existing free-standing pole sign.

Background Information

The building being renovated was formerly a Krispy Kreme donut shop constructed in 1945. It has been vacant for at least 5 years.

Staff Analysis

In considering the issue of appropriateness, the Design Review Board and the Downtown Planning Coordinator shall use the *Design Guidelines for Downtown Florence, South Carolina* prepared by Allison Platt & Associates and Hunter Interests Inc., as adopted by Florence City Council. These design principles should guide decision making regarding appropriate development:

1. Every reasonable effort should be made to preserve and enhance the historically significant elements of a building.

2. Architectural restoration, rather than renovation, is a preferred option when feasible.
3. Qualities critical to overall design should be studied and retained when possible.
4. Before replacing historic elements of a building, preservation and consolidation should be considered.
5. All additions and renovations to existing structures should complement the original or historic elements in terms of material, size, shape and color.
6. New construction should be appropriate to the period and style of character of the district as a whole.
7. To avoid deterioration and possible loss, all elements, especially the historically significant elements, should be carefully maintained. Repairs should match in terms of materials, size, shape, and color.
8. Facade details such as cornice ornaments should not be covered to avoid the need for maintenance painting or refinishing.

The applicant is proposing the following changes to the building to accommodate three new businesses:

- 1. Create two walk-up service windows and a new entrance in the front façade of the building;**
- 2. Change existing asphalt shingle roof to a metal roof painted Hawaiian blue;**
- 3. Remove the air conditioning unit from the south side wall and install a glass and aluminum storefront to access new interior spaces;**
- 4. Refinish and stripe the parking lot;**
- 5. Plant flowers and shrubs at corners and under the existing signage. *At the time of this report, a detailed landscape plan has not been provided;***
- 6. Install a 4' by 4' LED marquee board on the existing sign. *At the time of this report, a detailed signage plan has not been provided.***

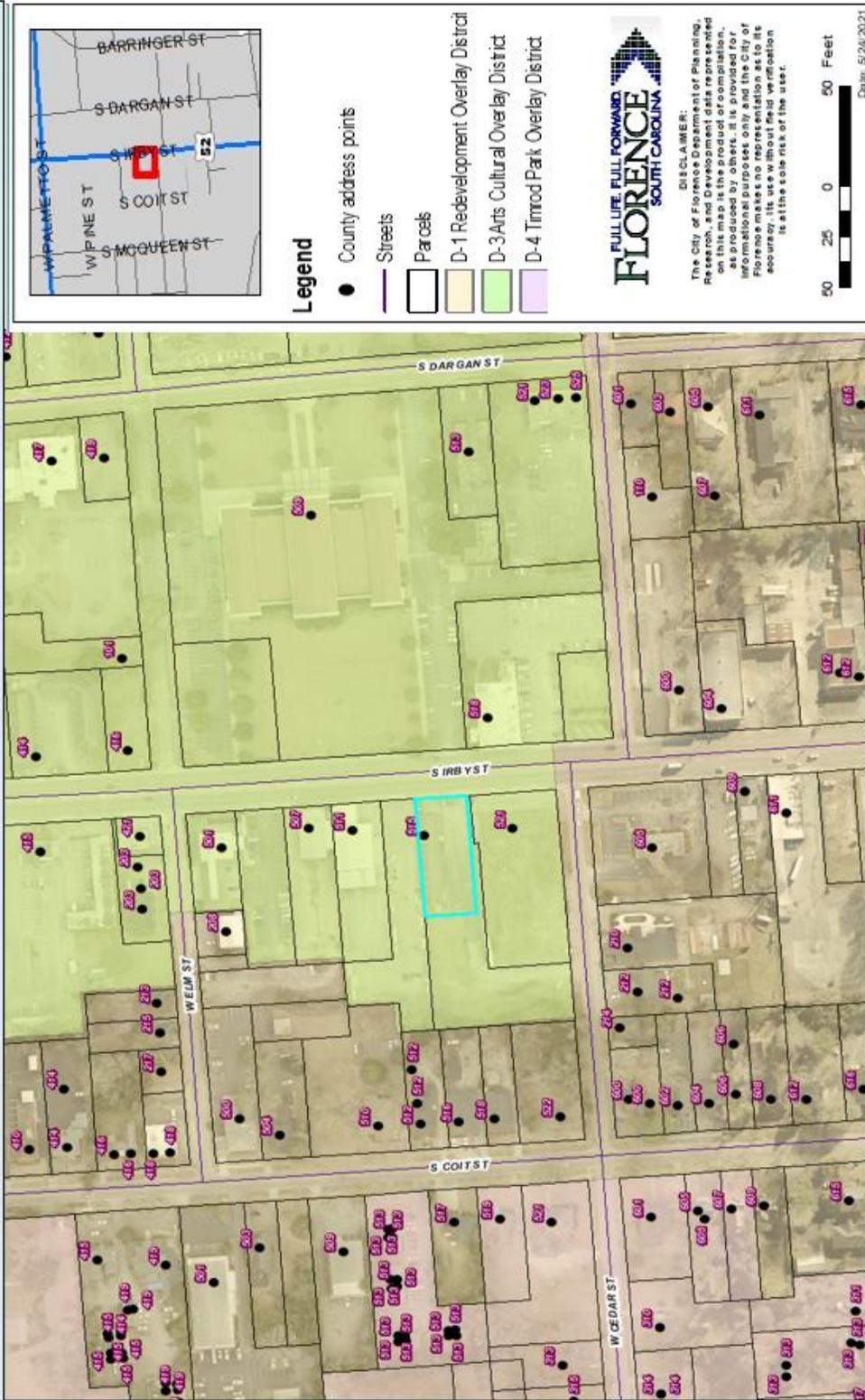
Board Action

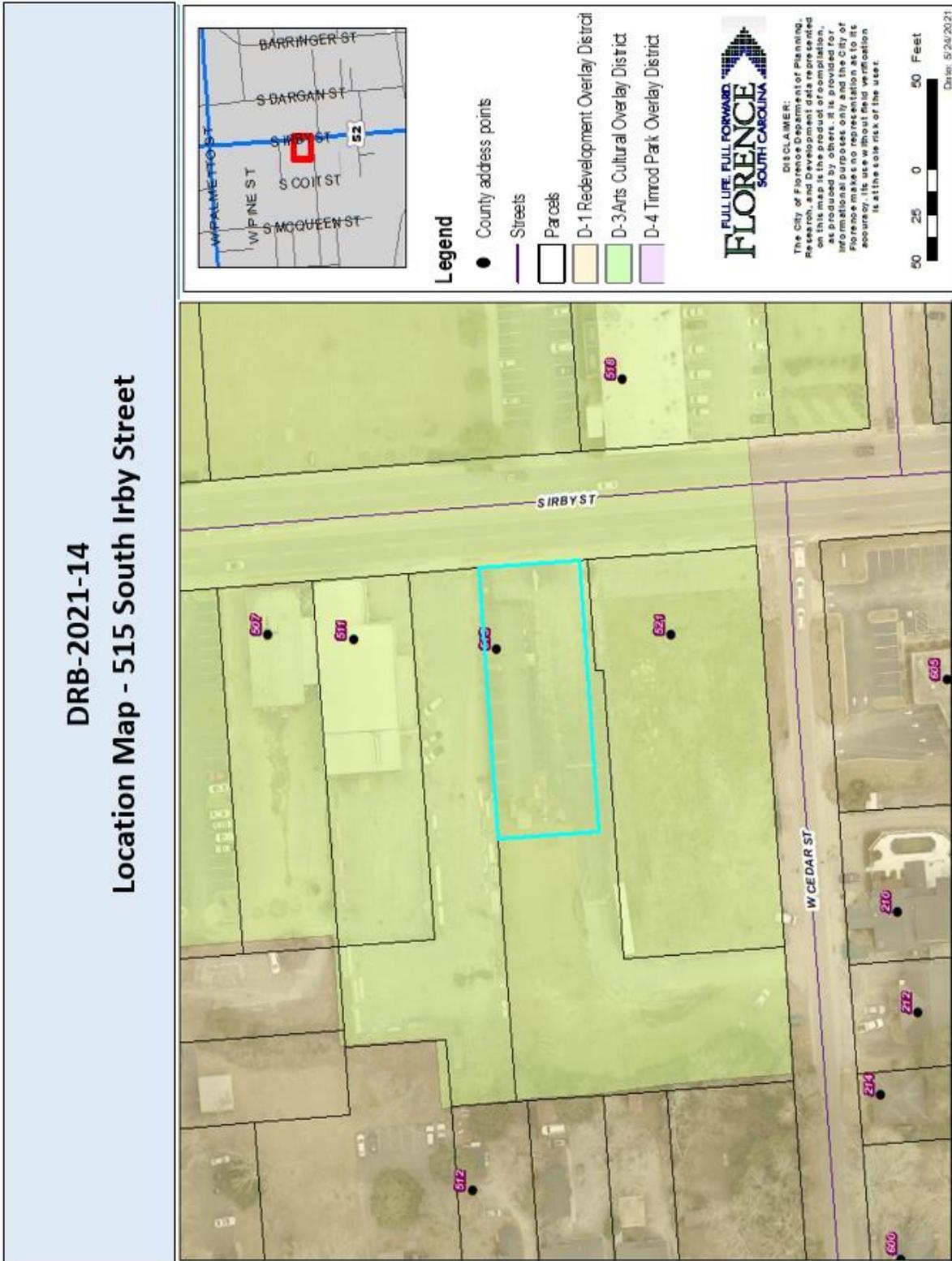
1. Consider only the evidence presented before the board during the public hearing.
2. Make findings of fact to apply the guidelines to the application presently before the board.
3. Based on the findings of fact, make a decision regarding the request on the application.

Attachments

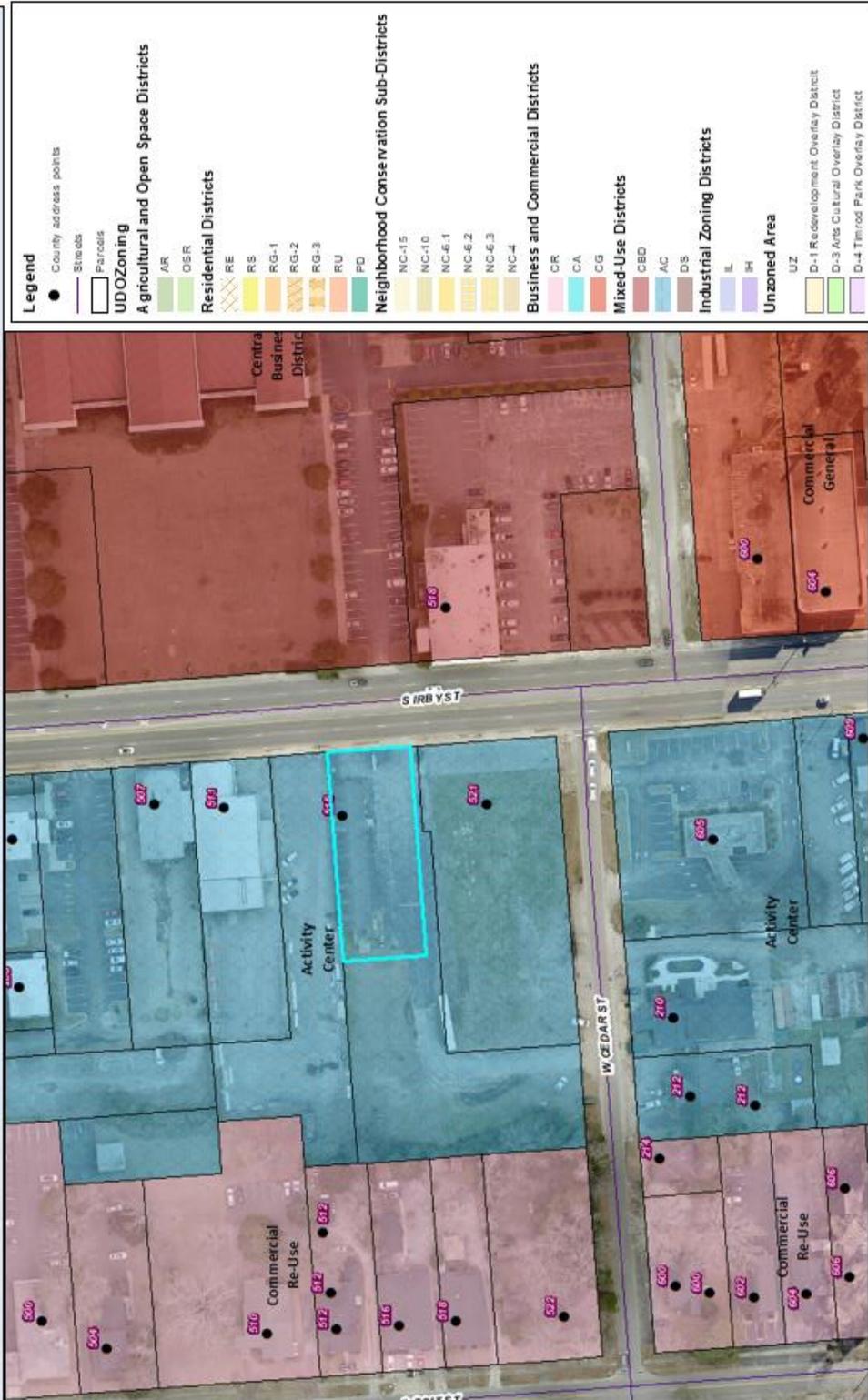
- A. Vicinity Map
- B. Location Map
- C. Zoning Map
- D. Existing Conditions
- E. Proposed Floor Plan
- F. Original Façade and Signage

DRB-2021-14
Vicinity Map - 515 South Irby Street





DRB-2021-14
Zoning Map - 515 South Irby Street



Attachment D: Existing Conditions



Front of building.



South side of building and parking area.

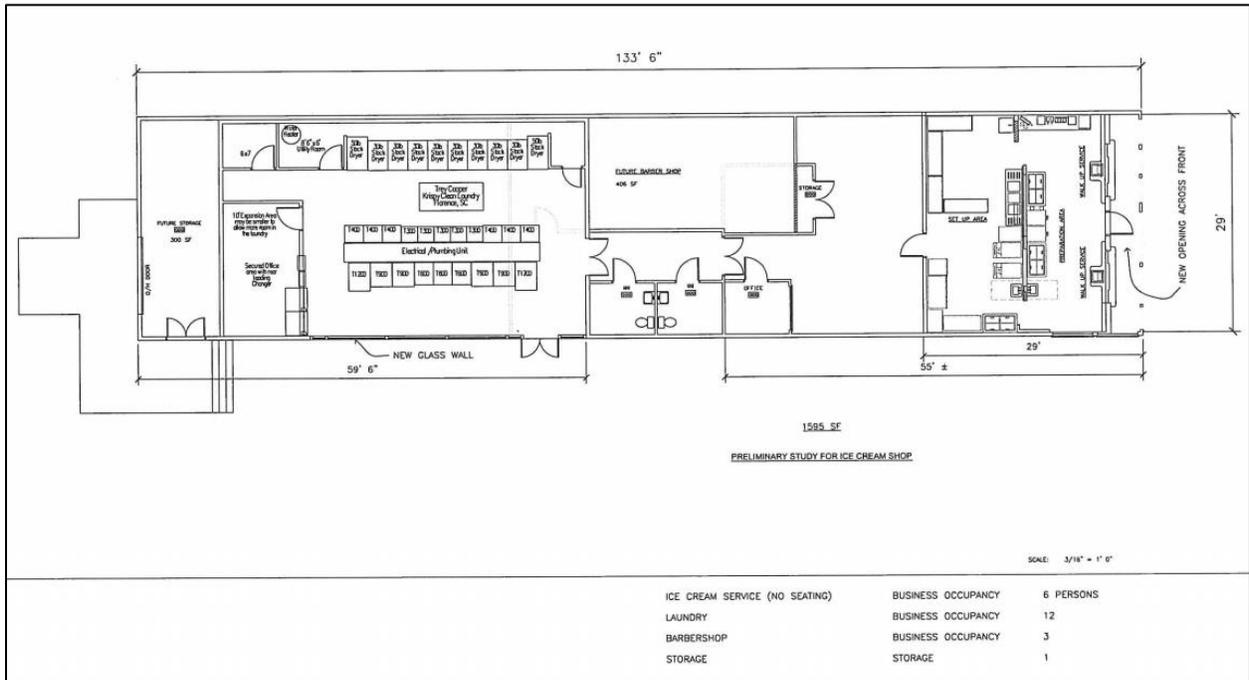


South side of building.



South side parking lot.

Attachment E: Proposed Floor Plan and South Side Façade Rendering



Attachment F: Original Façade and Signage



Original façade and signage before closing permanently in 2015.